

# DEVELOPMENT MANAGEMENT COMMITTEE 15<sup>th</sup> July 2024

**Case No:** 24/00136/FUL

**Proposal:** Change of use from a vacant bank/indoor market (Class E) to a hot food takeaway (sui generis) to include the installation of extract and ventilation equipment and minor external alterations.

**Location:** 11a Great Whyte, Ramsey, PE26 1HG

**Applicant:** DPSK Ltd

**Grid Ref:** (E) 528793 (N) 285103

**Date of Registration:** 1<sup>st</sup> February 2024

**Parish:** Ramsey

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## RECOMMENDATION - APPROVE

**This application is referred to the Development Management Committee (DMC) in accordance with the Scheme of Delegation as the recommendation of approval is contrary to that of the Town Council.**

1. DESCRIPTION OF SITE AND APPLICATION
  - 1.1 11a Great Whyte is a large Grade II Listed Building located within Ramsey Town Centre and within the Ramsey Conservation Area. The site lies within Flood Zone 1 as per the most recent Environment Agency Flood Risk Maps and Data.
  - 1.2 The property is located on a corner plot, to the south of the junction with Great Whyte and Little Whyte, and is a substantial, historic building situated in an area classed as Primary Shopping Frontage under Policy LP21 of the Local Plan to 2036 within the Ramsey Spatial Planning Area. As can be seen in the planning history detailed in part 4 of this report, the site has a historic use as a bank and most recently a mixed community use (including indoor market) though it has been vacant (at ground floor level) for a couple of years.
  - 1.3 This application seeks planning permission to change the use of the ground floor of the building to a hot food takeaway (Sui Generis Use), to make some minor external alterations and to install extraction and ventilation systems.

## 2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the three objectives – economic, social and environmental – of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: ‘So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).’
- 2.2 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
  - building a strong, competitive economy;
  - achieving well-designed, beautiful and safe places;
  - conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

## 3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1: Amount of Development
  - LP2: Strategy for Development
  - LP4: Contributing to Infrastructure Delivery
  - LP5: Flood Risk
  - LP7: Spatial Planning Areas
  - LP11: Design Context
  - LP12: Design Implementation
  - LP14: Amenity
  - LP17: Parking Provision and Vehicle Movement
  - LP21: Town Centre Vitality and Viability
  - LP22: Local Services and Community Facilities
  - LP30: Biodiversity and Geodiversity
  - LP34: Heritage Assets and their Settings
  - LP36: Air Quality
- 3.2 Supplementary Planning Documents (SPD) and Guidance:
- Huntingdonshire Design Guide Supplementary Planning Document 2017
  - Huntingdonshire Landscape and Townscape SPD (2022)
  - Huntingdonshire Strategic Flood Risk Assessment (2017)

- Cambridgeshire Flood and Water SPD 2017
- LDF Developer Contributions SPD (2011)
- Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)
- Ramsey Conservation Area Character Assessment (December 2005)
- The National Design Guide (2021)

Local For full details visit the government website [Local policies](#)

#### **4. RELEVANT PLANNING HISTORY**

- 4.1 21/02821/FUL – Change of use from Bank to Commercial Facility (Class E(g) and Class F2(b) (including offices and meeting rooms), a single storey rear flat roof extension for storage, replacement UPVC windows and doors, solar panels and air source heating installed. (Permission)
- 4.2 23/00278/FUL – Proposed replacement/repair of existing decayed sliding sash windows/doors/frames to match existing. Conversion of first floor offices to residential flat (Permission)
- 4.3 23/00280/LBC - Proposed replacement/repair of existing decayed sliding sash windows/doors/frames to match existing. Conversion of first floor offices to residential flat (Consent)
- 4.4 24/00137/LBC - Change of use from a vacant bank/indoor market (Class E) to a hot food takeaway (sui generis) to include the installation of extract and ventilation equipment and minor external alterations. (Pending consideration – associated with this application).

#### **5. CONSULTATIONS**

- 5.1 Ramsey Town Council recommend refusal giving reasons as:
- Council voted unanimously for refusal. Councillors felt that the highways issues with the increase in traffic, the lack of parking at peak times (5-8pm) are reasons for the refusal.
- 5.2 Cambridgeshire County Council Highways Team –No objections – further details in the proceeding sections of this report.
- 5.3 HDC Conservation Team– No objections – further details in the proceeding sections of this report.
- 5.4 HDC Environmental Health Team – No objections subject to conditions.

#### **6. REPRESENTATIONS**

6.1 Eleven comments have been received, five of these are in support of the scheme and six raise objections. These are available to view in full on HDC's Public Access Site but are summarised below:

6.2 Object:

\*Town no longer vibrant and has declined. Another fast food outlet not needed or wanted.

\*Concerns about parking, potential illegal parking and abuse of disabled spaces. Access to Mews Place car park is closed off after 5:30pm. This will exacerbate existing problems.

\*Requirement for town to have affordable shops to entice people into the town centre rather than pushing them further afield.

\*A new big chain is not required.

\*Lack of diversity in the town.

\*Concerns about anti-social behaviour as a result of change of use.

\*Impact on Conservation Area.

\*Access to bank required for elderly people.

\*Government allowing low value businesses into a community which doesn't need or want them.

\*Should ask people of the town what they want.

\*Noise and odour as a result of the ventilation system and increased activity later in the evening.

\*Noise and disruption from building works.

6.3 Support:

\*Will increase footfall and benefit all businesses from spending in town.

\*Challenging to get people to High Street, this will help.

\*Support increased competition and help to rejuvenate the town.

\*Business rates and jobs provided with outweigh negative points.

\*Lack of parking does not relate to only one business.

\*Preference to see building used rather than being empty.

\*More variety allowing healthy competition with existing vendors.

\*Parking about enforcement.

- 6.4 The matters raised above shall be addressed in the report below. However, it should be noted that competition between businesses and companies is not a material planning consideration and will not be considered in the determination of this application.
- 6.5 At this point it should be acknowledged that the application was also 'called in' to Development Management Committee by a Ward Member for Ramsey, Councillor Clarke. However, this was not supported by material planning reasons and no response was provided to a request for these. Given that due to the conflict of opinion between the LPA and the Town Council the case is to be considered at Committee level, further pursual of this matter was considered not to be necessary.

## **7. ASSESMENT**

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 In Huntingdonshire the Development Plan consists of a number of adopted neighbourhood plans, however, there is not an adopted neighbourhood plan in place for Ramsey. Therefore, in this case no neighbourhood plans are given weight in the determination of this application.
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting

that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.

7.5 The main issues to consider in the determination of this application are:

- The principle of development
- Design and visual amenity
- Impact on heritage assets
- Residential amenity
- Highway safety and parking provision
- Biodiversity
- Flood risk

### **The principle of the development**

7.6 The site is located within the built-up area of Ramsey which is a Spatial Planning Area as defined under Policy LP7 of Huntingdonshire's Local Plan to 2036. Policy LP7 supports a proposal for a main town centre use (further detail on this is at part 7.7 onwards) where it is appropriately located within the built-up area of a spatial planning area .

7.7 Policies LP21 (Town Centre Vitality and Viability) and LP22 (Local Services and Community Facilities) seek to ensure that towns and villages across the district retain services and maintain vitality in the town centres. Whilst both are similar in their aims, in this case, as the site is within the primary shopping frontage of Ramsey town centre Policy LP21 of the Local Plan is the starting point and key Policy for considering the principle of this development. (Policy LP22 would come into force were the site not within a defined town centre).

7.8 Policy LP21 states:

“A proposal for a shop (class 'A1'), restaurant/ café (class 'A3') or drinking establishment (class 'A4') will be supported within a primary shopping frontage to encourage uses which support the vitality and viability of the location whilst maintaining its essential retail nature.

A proposal for any other main town centre use at ground floor level may be supported where it will:

a. make a positive contribution to vitality and viability by enhancing the existing quality, diversity and distribution of retail, leisure, entertainment, arts, heritage, cultural facilities, community facilities or tourist attractions; and

b. continue to provide an active frontage where there is an existing shopfront.

A proposal for any non-main town centre use will not be supported at ground floor level within a primary shopping frontage.”

Turning attention to the Local Plan Glossary, main town centre uses are defined as:

“retail development (including retail warehouse clubs and factory outlet centres); leisure, entertainment facilities, the more intensive sport and recreation uses (including cinemas, restaurants, drive-through restaurants, bars and pubs, night-clubs, casinos, health and fitness centres, indoor bowling centres, and bingo halls); offices; and arts, culture and tourism development (including theatres, museums, galleries and concert halls, hotels and conference facilities).”

Whilst this Policy is not explicit on the provision of hot food takeaways within a primary shopping frontage, the aim of the Policy remains that a proposal should increase footfall and support the vitality of a town centre. When assessing this application against some of the examples detailed above, it cannot be considered that the provision of a hot food takeaway would vary wildly from a drive through restaurant or some of the other uses listed (particularly when ‘length of stay’ is considered). Further, the hours of operation are given as 11am-11:00pm seven days a week and so the business shall be in operation when other local businesses (shops, food and drink outlets and professional services) are in operation not just in the evening when some of these businesses may have ceased daily trading.

- 7.9 In this case, whilst the desire for independent shops to be provided is acknowledged, it is considered that the proposal will bring what is a large and prominent building within the town centre back into service and involve the creation of an active frontage. Concerns raised regarding the number of fast food outlets already active in the town centre are noted alongside the loss of banking facilities. However, it should be acknowledged that the building has not been used as a bank for some time. Further, the changing face of the high street and technology must be considered in this determination and, on balance it is considered that the likelihood of a building of this scale being brought back into use as a bank is slim. The benefits of increased, accessible opportunities for employment are also a factor which outweighs any minor harm. Further, it should be acknowledged that the NPPF (2023) states that “in order to support a prosperous rural economy, planning policies and decisions should enable the sustainable growth and expansion of all types of businesses in rural areas, both through the

conversion of existing buildings and well-design, beautiful new buildings.”

- 7.10 One of the objections raised suggests that a poll should be undertaken for residents to put forward what they would like to see in the town. Whilst not strictly a factor of this application the proposals have been publicised and any interested party has had the opportunity to comment and their comments (either in support or objection) have been considered. For the reasons given above it is concluded that this development would comply with Policy LP21 of the Local Plan and is therefore considered to be acceptable in principle subject to other material considerations and conditions.

### **Design and Visual Amenity**

- 7.11 As previously stated, the building which is subject to this application is located at the junction of Great Whyte and Little Whyte in Ramsey town centre. It is a large, imposing building with traditional features. Due to its location (the buildings on this section of Great Whyte are set forward of those immediately north) it is a prominent feature of the town centre when viewed from the north.
- 7.12 In terms of the immediate surroundings, these are mainly commercial premises of varying age, scale and design. Some appear to have residential dwellings above. There are a mixture of uses with Retail, Solicitors, Estate Agencies, Financial Services and so on forming the streetscene.
- 7.13 Very few changes to the exterior are proposed with these limited to the repair and repainting of the existing windows and entrance doors. Some ‘filming’ is also proposed to the windows. To the courtyard elevation (and so not visible from the streetscene) air conditioning and compressor units shall be installed but these shall be concealed by louvre panels (an acoustic enclosure). It is noted that signage is proposed (as is shown on the elevations), however this is not for consideration under this scheme and (as stated in the submitted Design and Access Statement) will be the subject of a future advertising consent application.
- 7.14 Overall, having regard to the above assessment, subject to a Condition in relation to materials, the development is not considered to be harmful to the character or appearance of the area. It therefore accords with Policies LP11, LP12 and LP34 of the Huntingdonshire Local Plan to 2036 in this regard.

### **Impact on Heritage Assets**

- 7.15 As detailed in the preceding section of this report, the building is Grade II Listed and located within the Ramsey Conservation



Area.

Section 66(2) of the Planning (LBCA) Act 1990 (as amended) requires special regard to be had to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Section 72 of the Planning (LBCA) Act 1990 (as amended) states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.

Para. 205 of the NPPF sets out that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'.

Para. 206 states that 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'

Local Plan policy LP34 aligns with the statutory provisions and NPPF advice.

- 7.16 The application is accompanied by a Heritage Statement and matters relating to the internal works to the building are considered under the associated LBC application. HDC's Conservation Team have also been consulted and, having reviewed the submitted detail raise no objections stating that:

"works to facilitate the proposed use include removal of two short lengths of existing wall, construction of partition walls and installation of a full system of air ventilation and extraction. A modern bank vault door will also be removed.

The removal of two small lengths of existing wall would have a modest impact as the removal of the majority of the ground floor walls has obscured the original plan of the building. The wall to the side of the proposed lobby is unlikely to be original and the works to the proposed Cold Room would impact relatively modern fabric. The remainder of the works would involve adding lightweight partitions, mechanical plant and flues/vents in an area stripped of historic and architectural significance. Aside from the construction of an acoustic enclosure and installation of air conditioning plant no works other than repairs are proposed to the outside of the building; the main extractor vent will use an existing chimney flue. The acoustic enclosure will be located beneath the existing external stairs to the side of the building and will not be visible from the street.

The primary significance of this Listed Building lies in its external appearance and in its contribution to the character and appearance of the Conservation Area. The internal works which removed a lot of the evolution history of the building were undertaken prior to listing in 1983. Many of the works are contained within the 1920s extension which is of lesser significance. The proposed scheme would help secure the long-term preservation of the Listed Building by keeping it occupied and in a viable use. There would be no harm to the character and appearance of the Ramsey Conservation Area.”

- 7.17 Therefore, given the earlier assessment, limited external works and the favourable comments from specialists (as above) it is concluded that the development would not harm the designated heritage assets (the Listed Building and the Conservation Area) and that the works would promote the longer term preservation of the Listed Building in accordance with paragraphs 195 and 203 of the NPPF (2023), the Planning, Listed Buildings and Conservation Areas Act (1990) and Policy LP34 of Huntingdonshire’s Local Plan to 2036.

### **Residential Amenity**

- 7.18 Policy LP14 of the Local Plan to 2036 states that “a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.” In this case, given that there will be no increased footprint or additional windows, there are no concerns with regard to overbearing impacts, overshadowing, loss of light, loss of privacy or overlooking.
- 7.19 Given the addition of external plant equipment, ventilation and the proposed use and hours of use, careful consideration has been given to the potential for impacts on residential units above (including above the application site) in terms of matters such as noise and odour. As such, HDC’s Environmental Health Team have been consulted and have reviewed the submitted documents. Having done so they raise no objections providing that conditions to secure the details provided within the submitted noise assessment and ventilation systems documents are appended to the permission.
- 7.20 A concern has been raised with regard to the potential for an increase in anti-social behaviour and noise/disturbance during the late evening as a result of this addition. Ramsey (in the immediate vicinity of the application site) has a number of businesses which are open into the evening including restaurants, drinking establishments and other hot food takeaways. It would therefore be considered unreasonable to suggest that an additional business of this nature would result in increased risk of such issues given the existing established

character of 'evening operation.' Environmental Health have raised no objections in terms of hours of operation and it is recommended that these shall be secured by condition should Members choose to support the application. Whilst not intended to disregard these concerns, these are characteristic of being located within a town centre location, and whilst there may be some degree of intensification as a result of the change of use of this building, it is not considered this would be to a significant or unacceptably harmful degree, when considered against existing activity in the vicinity. Matters relating to building works are acknowledged but again, some disturbance is to be expected during any period of construction. In this case, the majority of works are internal and, were it not a Listed Building no consent would be required for these works.

- 7.21 Overall therefore, taking the above matters into consideration the development is considered to be acceptable in terms of residential amenity and accords with Policy LP14 of the Huntingdonshire Local Plan to 2036 in this regard.

### **Parking Provision and Highway Safety**

- 7.22 The site is located in the town centre, and, as with many other businesses in the vicinity does not benefit from on-site parking. Ramsey does however benefit from dedicated parking bays in the town centre which are within walking distance of the building. Further, there is the HDC operated Mews Close car park offering free parking within 90 metres of the site. There is also further on street parking along the Great Whyte and High Street. It is acknowledged that parking is a concern, and whilst it is true that the main access to Mews Close car park is secured in the evenings the car park itself is not locked and benefits from 24 hour access. The location is considered to be sustainable and can easily be accessed on foot or by bicycle. Whilst it cannot be guaranteed that users of the building would park responsibly this is not a matter from the LPA to address through the planning process. It remains that the premises has historically been operated as a commercial premises with staff and uncontrolled numbers of customers and so it cannot reasonably be considered that this use would result in a degree of intensification which would render it hazardous in this regard.
- 7.23 Notwithstanding the above, Cambridgeshire County Council's Highways Team have been consulted, and, having reviewed the submitted documents raise no objections stating that whilst there are some restrictions as to on street parking in the vicinity (double yellow lines from Little Whyte to the High Street junction) and that the LPA should consider adequacy of parking for all users (as above) they conclude that there will be no adverse impact on highway safety in the event that the development is permitted.

7.24 Overall, therefore, having regard to the above assessment and the favourable comments from CCC as specialists, the proposed development is considered to be acceptable with regard to highway safety and parking provision and therefore accords with Policy LP17 of the Huntingdonshire Local Plan to 2036 in this regard.

### **Biodiversity**

7.25 Policy LP30 of the Local Plan to 2036 states that “a proposal will ensure no net loss in biodiversity and achieve a net gain where possible.” The submission of this application also pre-dates the changes of the legislation in relation to biodiversity net gain.

7.26 In this case the biodiversity value of the site is considered to be low. It is a building located within a busy town centre and appears to be in good repair. Aside from the installation of the previously referred to plant equipment there are no external works or works which would likely impact on important or protected species. Given the level of works proposed and the location it is considered that opportunities for achieving a net gain are low. Therefore, whilst no enhancement measures have been provided there is also no net loss.

7.27 Having regard to the above the proposal is considered to be acceptable in terms of biodiversity impacts and broadly accords with Policy LP30 of the Huntingdonshire Local Plan to 2036.

### **Flood risk**

7.28 The application site is within Flood Zone 1 and is therefore not subject to the Sequential or Exception Tests required by the NPPF (2023). Nor (given its scale) does it require the submission of a Flood Risk Assessment (FRA). The development does not increase the footprint of the building nor introduce any additional hard surfacing or a use classed as ‘more vulnerable’ as per the NPPF (2023)

7.29 The development is therefore considered to be acceptable with regard to its approach to flood risk and therefore accords with Policy LP5 of the Huntingdonshire Local Plan to 2036.

## **8. RECOMMENDATION – APPROVAL subject to conditions to include the following**

- Time limit
- Development in accordance with approved plans
- Materials

- Hours of operation
- Compliance with noise assessment report measures
- Compliance with and retention of ventilation system document

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388424 and we will try to accommodate your needs

**CONTACT OFFICER: Kevin Simpson**

Enquiries [kevin.simpson@huntingdonshire.gov.uk](mailto:kevin.simpson@huntingdonshire.gov.uk)

# DEVELOPMENT MANAGEMENT COMMITTEE 15<sup>th</sup> July 2024

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  - 1.2 The property is located on a corner plot to the south of the junction with Great Whyte and Little Whyte, and is a substantial, historic building situated in an area classed as Primary Shopping Frontage under Policy LP21 of the Local Plan to 2036 within the Ramsey Spatial Planning Area. As can be seen in the planning history detailed in part 4 of this report, the site has a historic use as a bank and most recently a mixed community use (including indoor market) though it has been vacant (at ground floor level) for a couple of years.
  - 1.3 This application seeks Listed Building consent to use of the ground floor of the building as a hot food takeaway (Sui Generis Use), to make some minor external and internal alterations and to install extraction and ventilation systems.

## **2. NATIONAL GUIDANCE**

- 2.1 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the three objectives – economic, social and environmental – of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: ‘So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).’
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## **5. CONSULTATIONS**

- 5.1 Ramsey Town Council recommend refusal giving reasons as:

Council voted unanimously for refusal. Councillors felt that the highways issues with the increase in traffic, the lack of parking at peak times (5-8pm) are reasons for the refusal.

- 5.2 It should be noted that in terms of the Listed Building Consent application the LPA is only permitted to consider matters relating to the impact on heritage assets.

## **6. REPRESENTATIONS**

- 6.1 Eleven comments have been received, five of these are in support of the scheme and six raise objections. These are available to view in full on HDC's Public Access Site but are summarised below:

- 6.2 Object:

\*Town no longer vibrant and has declined. Another fast food outlet not needed or wanted.

\*Concerns about parking, potential illegal parking and abuse of disabled spaces. Access to Mews Place car park is closed off after 5:30pm. This will exacerbate existing problems.

\*Requirement for town to have affordable shops to entice people into the town centre rather than pushing them further afield.

\*A new big chain is not required.

\*Lack of diversity in the town.

\*Concerns about anti-social behaviour as a result of change of use.



\*Impact on Conservation Area.

\*Access to bank required for elderly people.

\*Government allowing low value businesses into a community which doesn't need or want them.

\*Should ask people of the town what they want.

\*Noise and odour as a result of the ventilation system and increased activity later in the evening.

\*Noise and disruption from building works.

### 6.3 Support:

\*Will increase footfall and benefit all businesses from spending in town.

\*Challenging to get people to High Street, this will help.

\*Support increased competition and help to rejuvenate the town.

\*Business rates and jobs provided with outweigh negative points.

\*Lack of parking does not relate to only one business.

\*Preference to see building used rather than being empty.

\*More variety allowing healthy competition with existing vendors.

\*Parking about enforcement.

6.4 Again, whilst these are included for completeness only matters relating to the impact on the designated heritage assets shall be considered in this report.

## 7. ASSESMENT

7.1 The main issues to consider in the determination of this application are:

- Impact on heritage assets

### **Impact on Hertiage Assets**

7.2 As detailed in the preceding section of this report, the building Grade II Listed and within the Ramsey Conservation Area.

Section 66(2) of the Planning (LBCA) Act 1990 (as amended) requires special regard to be had to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Section 72 of the Planning (LBCA) Act 1990 (as amended) states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.

Para. 205 of the NPPF sets out that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'.

Para. 206 states that 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'

Local Plan policy LP34 aligns with the statutory provisions and NPPF advice.

7.3 Very few changes to the exterior are proposed with these limited to the repair and repainting of the existing windows and entrance doors. Some 'filming' is also proposed to the windows. To the courtyard elevation (and so not visible from the streetscene) air conditioning and compressor units shall be installed but these shall be concealed by louvre panels (an acoustic enclosure). It is noted that signage is proposed (as is shown on the elevations), however this is not for consideration under this scheme and (as stated in the submitted Design and Access Statement) will be the subject of a future advertising consent application.

7.4 The application is accompanied by a Heritage Statement and matters relating to the external works to the building are considered under the associated FUL application. HDC's Conservation Team have also been consulted and, having reviewed the submitted detail raise no objections stating that:

"works to facilitate the proposed use include removal of two short lengths of existing wall, construction of partition walls and installation of a full system of air ventilation and extraction. A modern bank vault door will also be removed.

The removal of two small lengths of existing wall would have a modest impact as the removal of the majority of the ground floor walls has obscured the original plan of the building. The wall to the side of the proposed lobby is unlikely to be original and the

works to the proposed Cold Room would impact relatively modern fabric. The remainder of the works would involve adding lightweight partitions, mechanical plant and flues/vents in an area stripped of historic and architectural significance. Aside from the construction of an acoustic enclosure and installation of air conditioning plant no works other than repairs are proposed to the outside of the building; the main extractor vent will use an existing chimney flue. The acoustic enclosure will be located beneath the existing external stairs to the side of the building and will not be visible from the street.

The primary significance of this Listed Building lies in its external appearance and in its contribution to the character and appearance of the Conservation Area. The internal works which removed a lot of the evolution history of the building were undertaken prior to listing in 1983. Many of the works are contained within the 1920s extension which is of lesser significance. The proposed scheme would help secure the long-term preservation of the Listed Building by keeping it occupied and in a viable use. There would be no harm to the character and appearance of the Ramsey Conservation Area.”

- 7.5 Therefore, given the above assessment, limited external works and the favourable comments from specialists (as above) it is concluded that the development would not harm the designated heritage assets (the Listed Building and the Conservation Area) and that the works would promote the longer term preservation of the Listed Building in accordance with paragraphs 195 and 203 of the NPPF (2023), the Planning, Listed Buildings and Conservation Areas Act (1990) and Policy LP34 of Huntingdonshire’s Local Plan to 2036.

**8. RECOMMENDATION – CONSENT subject to conditions to include the following**

- Time limit
- Development in accordance with approved plans
- Materials

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388424 and we will try to accommodate your needs

**CONTACT OFFICER: Kevin Simpson**

Enquiries [kevin.simpson@huntingdonshire.gov.uk](mailto:kevin.simpson@huntingdonshire.gov.uk)

## Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 09/02/2024 3:20 PM from Mrs Lisa Renfree.

### Application Summary

Address: 11A Great Whyte Ramsey Huntingdon PE26 1HG

Proposal: Change of use from a vacant bank/indoor market (Class E) to a hot food takeaway (suitable for all types of food) to include the installation of extract and ventilation equipment and minor external alterations.

Case Officer: Kevin Simpson

[Click for further information](#)

### Customer Details

Name: [REDACTED]

Email: [REDACTED]

Address: 11 Great Whyte, Ramsey, Huntingdon PE26 1HG

### Comments Details

Commenter Type: Town or Parish Council

Stance: Customer objects to the Planning Application

Reasons for comment:

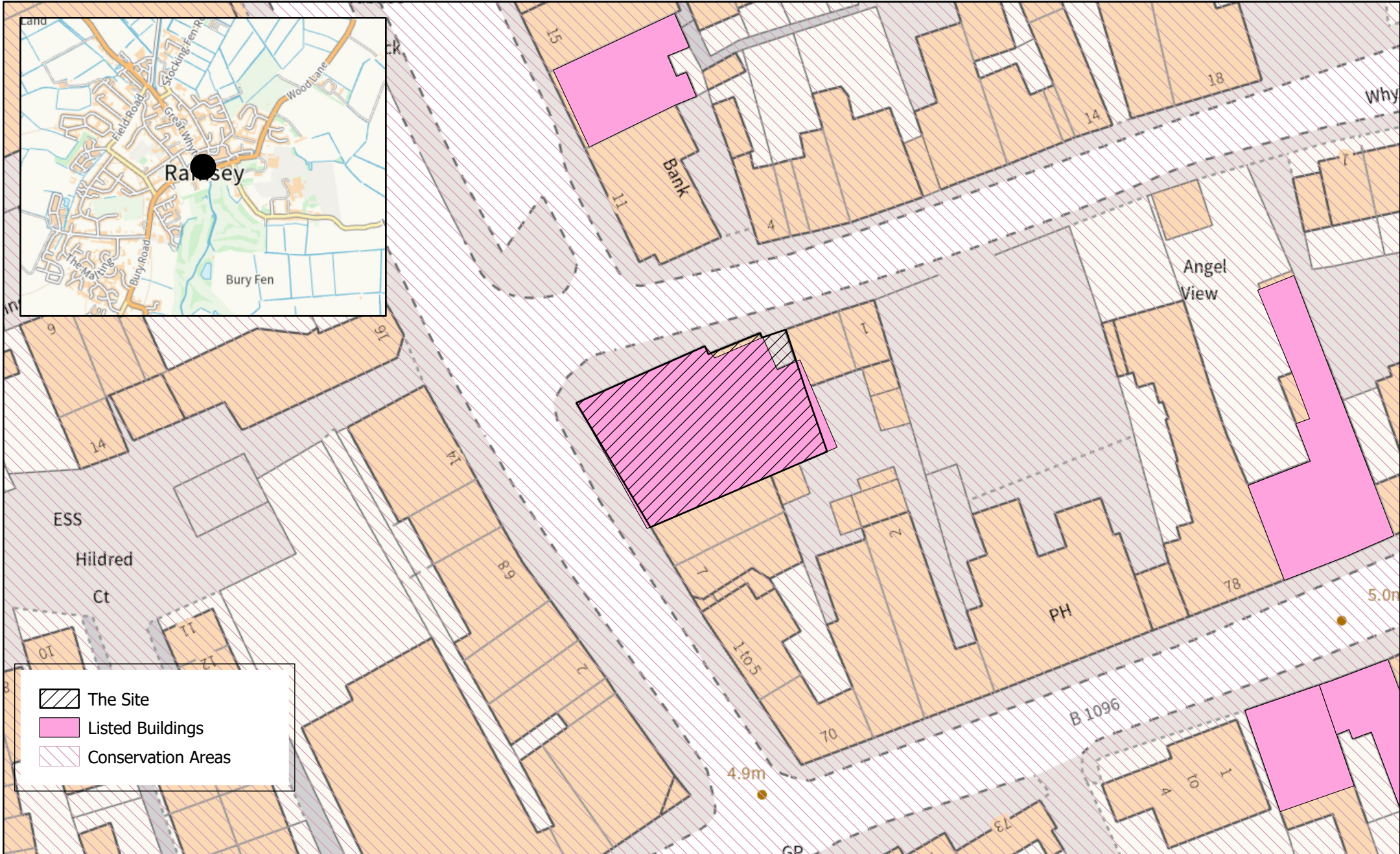
Comments: Council voted UNANIMOUSLY For REFUSAL. Councillors felt that the highways issues with the increase in traffic, the lack of parking at peak times (5-8pm) are reasons for the refusal.

Kind regards

# Development Management Committee

## Application Ref: 24/00136/FUL and 24/00137/LBC

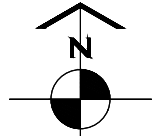
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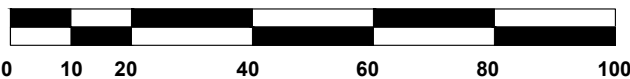
	The Site
	Listed Buildings
	Conservation Areas

REVISION	AMENDMENTS	DATE	CHKD

**APPLICATION SITE**  
**11 Great Whyte,**  
**Ramsay**  
**Huntingdon**  
**PE26 1HG**  
 Site Area 302m<sup>2</sup> (0.03Ha)



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Location Plan

11 Great Whyte, Ramsay, Huntingdon. PE26 1HG

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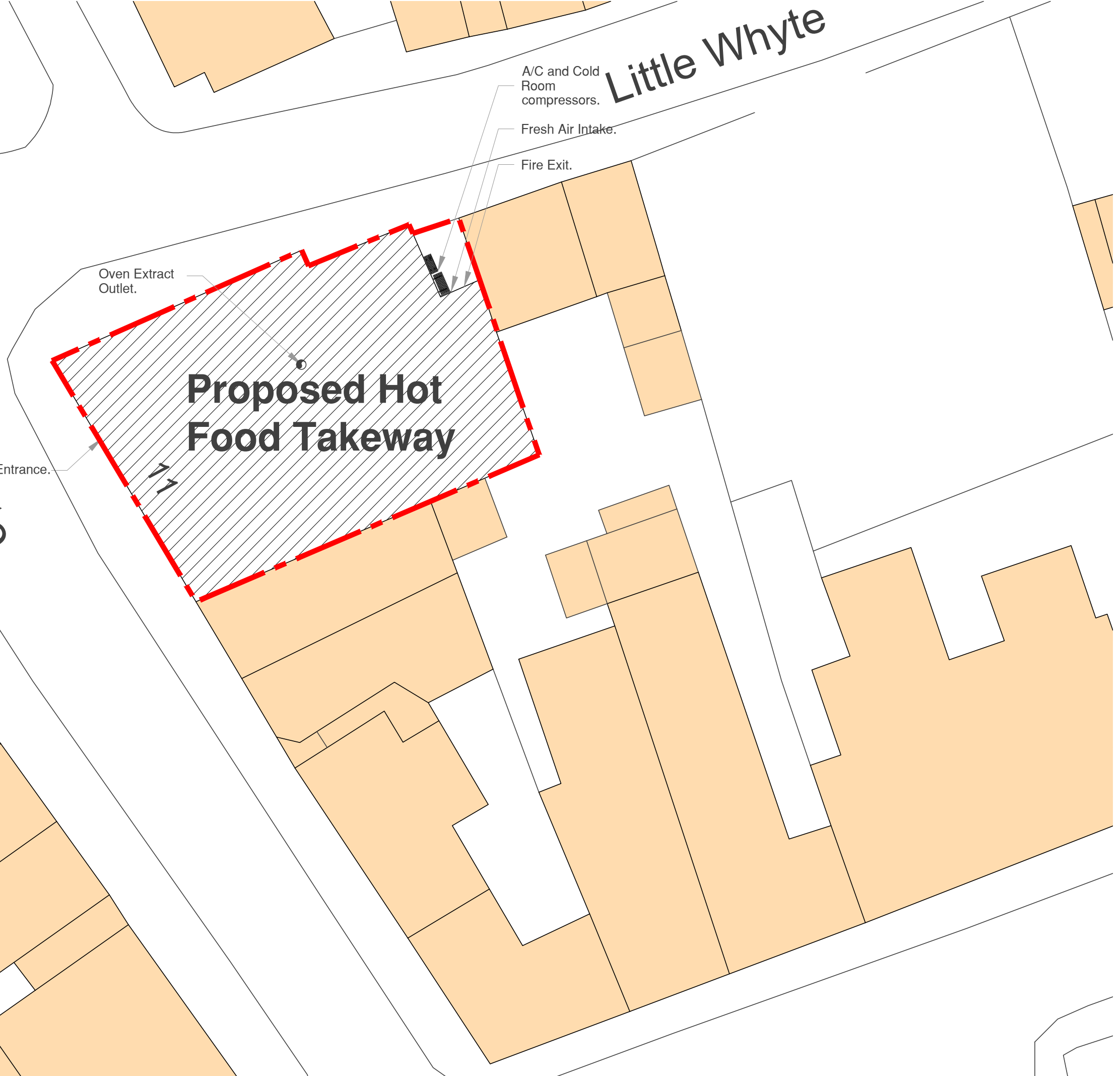
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 TELEPHONE 0161 820 4207  
 e-mail: design@hattrell.co.uk / www.hattrell.co.uk

5369-LP-08

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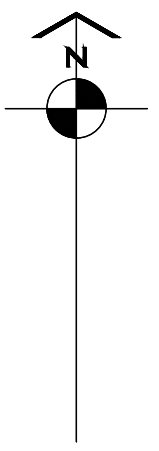
# Little Whyte

# Great Whyte



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REV	AMENDMENT	DATE	CHKD



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CLIENT

PROJECT  
 11 Great Whyte,  
 Ramsay,  
 Huntingdon.  
 PE26 1HF

DRAWING TITLE  
 Block Site Plan

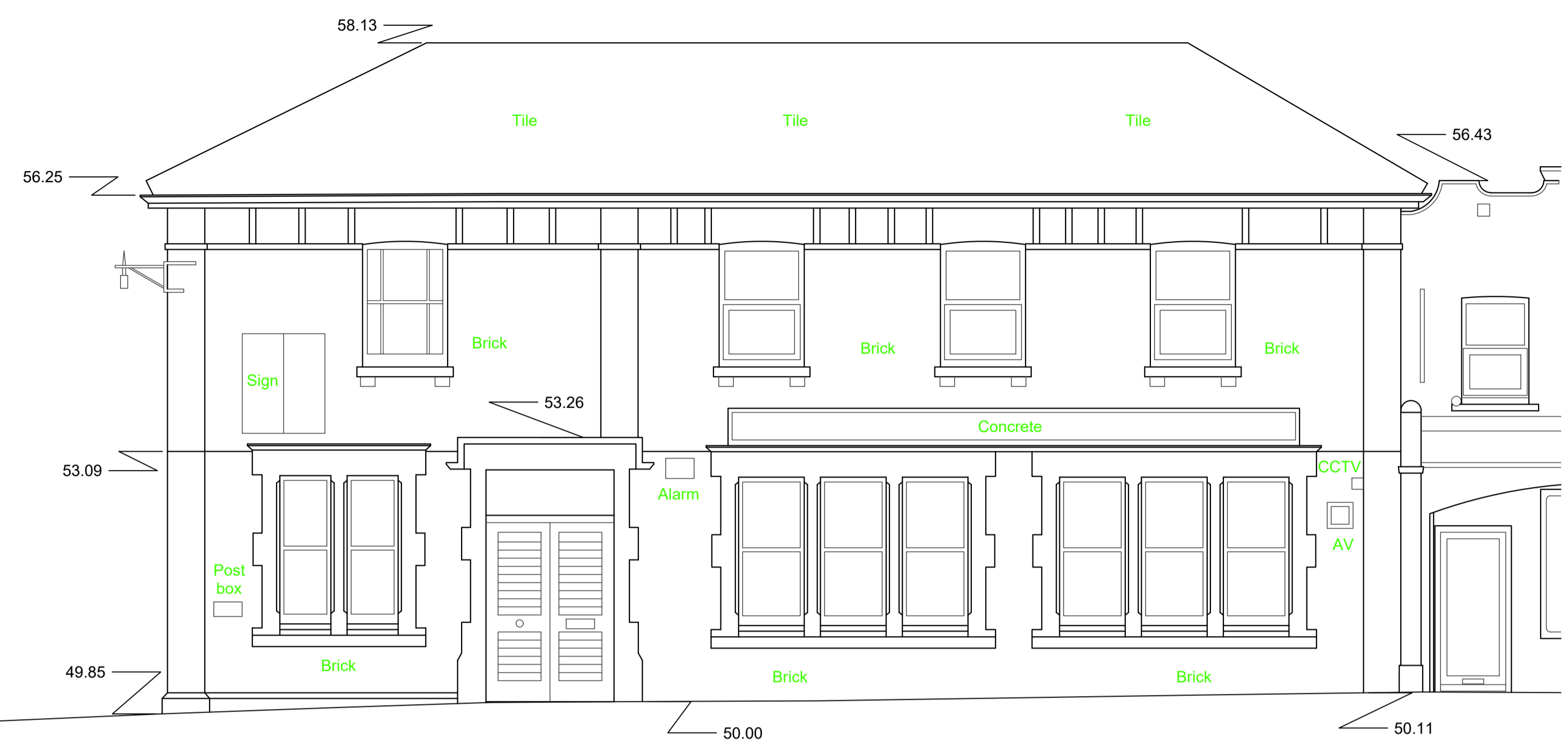
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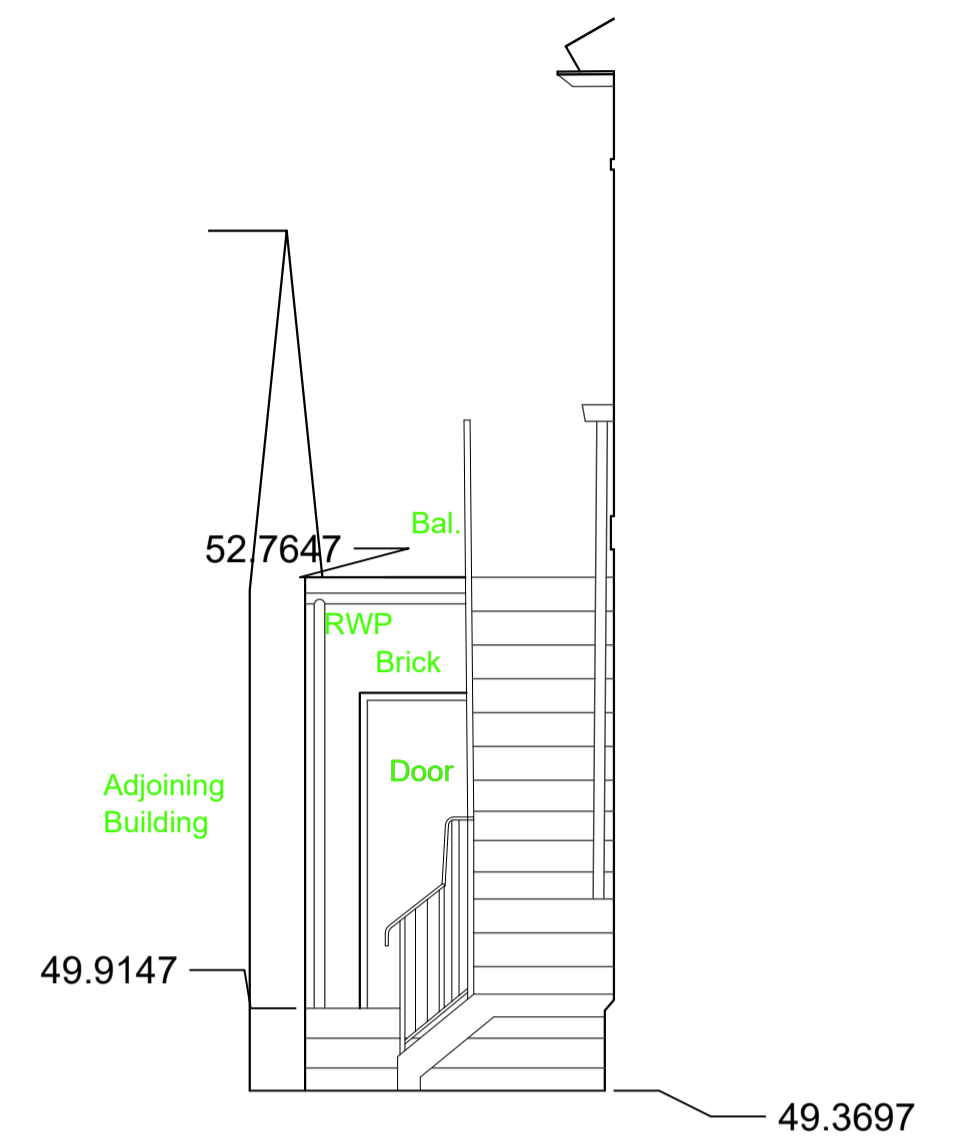
**PLANNING**

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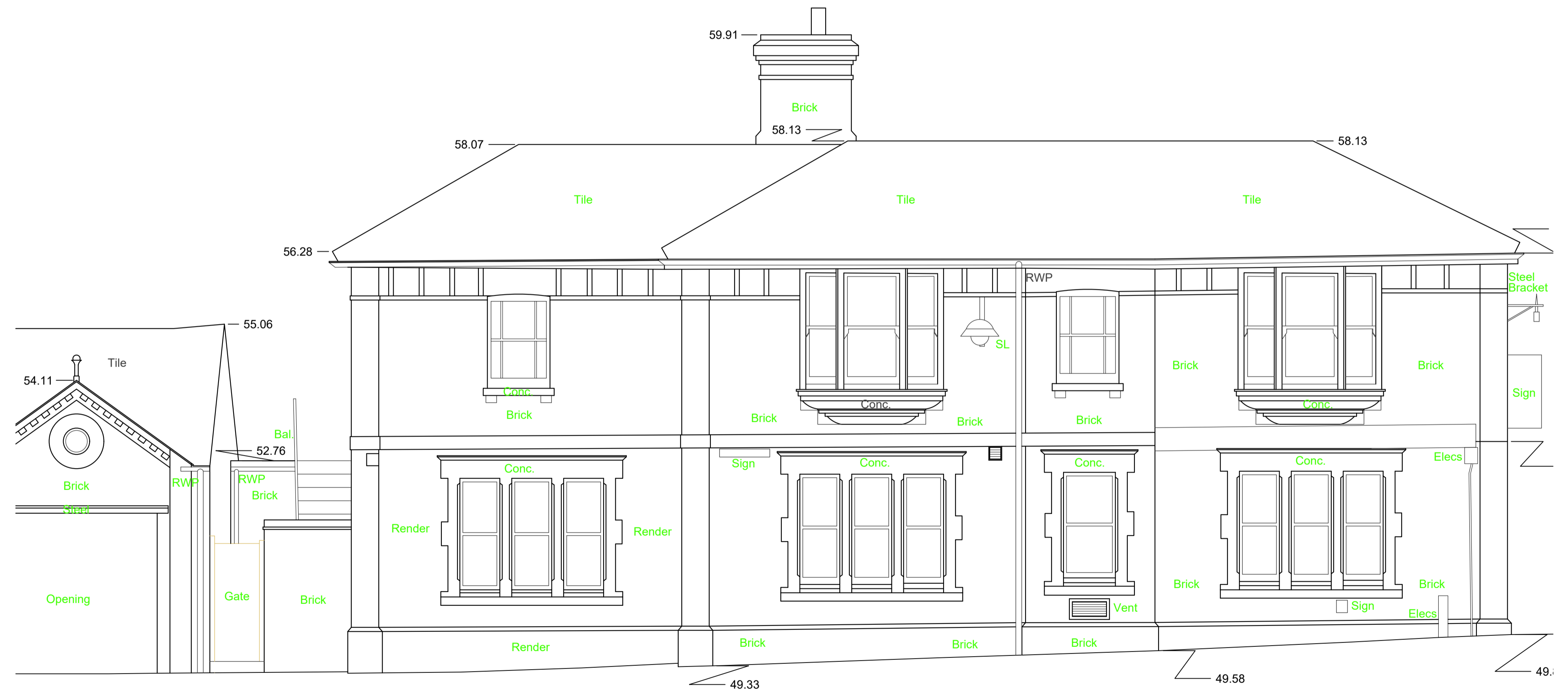
REV	AMENDMENT	DATE	CHKD



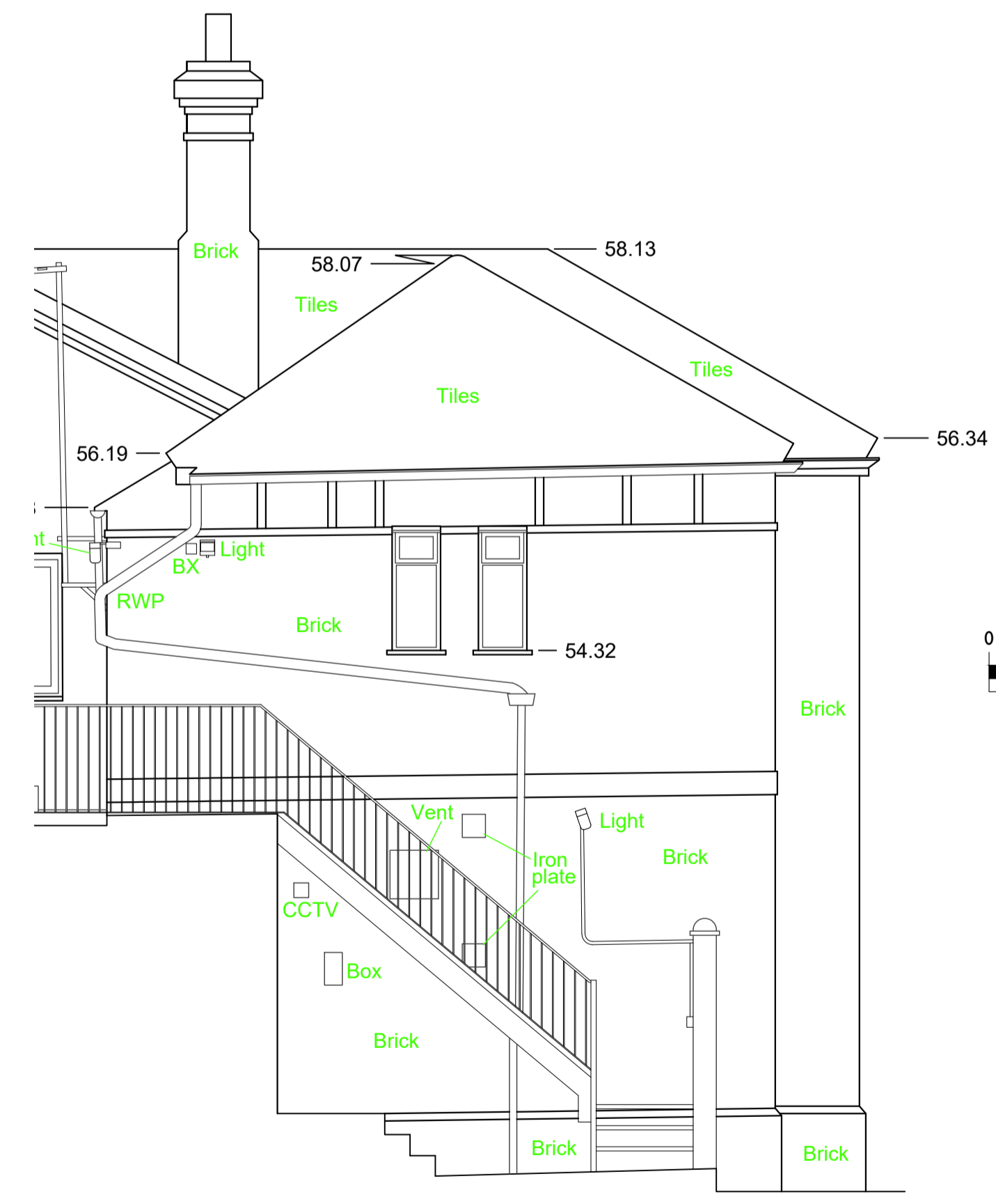
**FRONT ELEVATION - Great Whyte**



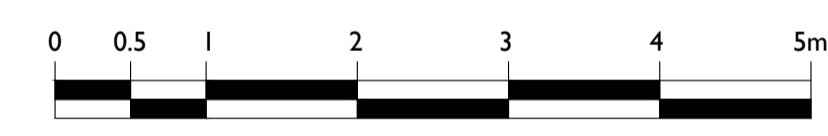
**COURTYARD ELEVATION**



**SIDE ELEVATION - Little Whyte**



**COURTYARD ELEVATION**



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CLIENT

PROJECT  
 11 Great Whyte,  
 Ramsey,  
 Huntingdon.  
 PE26 1HF

DRAWING TITLE  
 Existing Elevations

SCALE @A1 DRAWN BY CHECKED DATE  
 1:50 ST -- Oct'23

DRAWING No C5369-A5-02 REVISION -

Existing







WINDOW FRAMES TO BE REPAIRED AS NECESSARY AND PAINTED TO MATCH RAL7043. PARTIALLY "FILM-OUT"

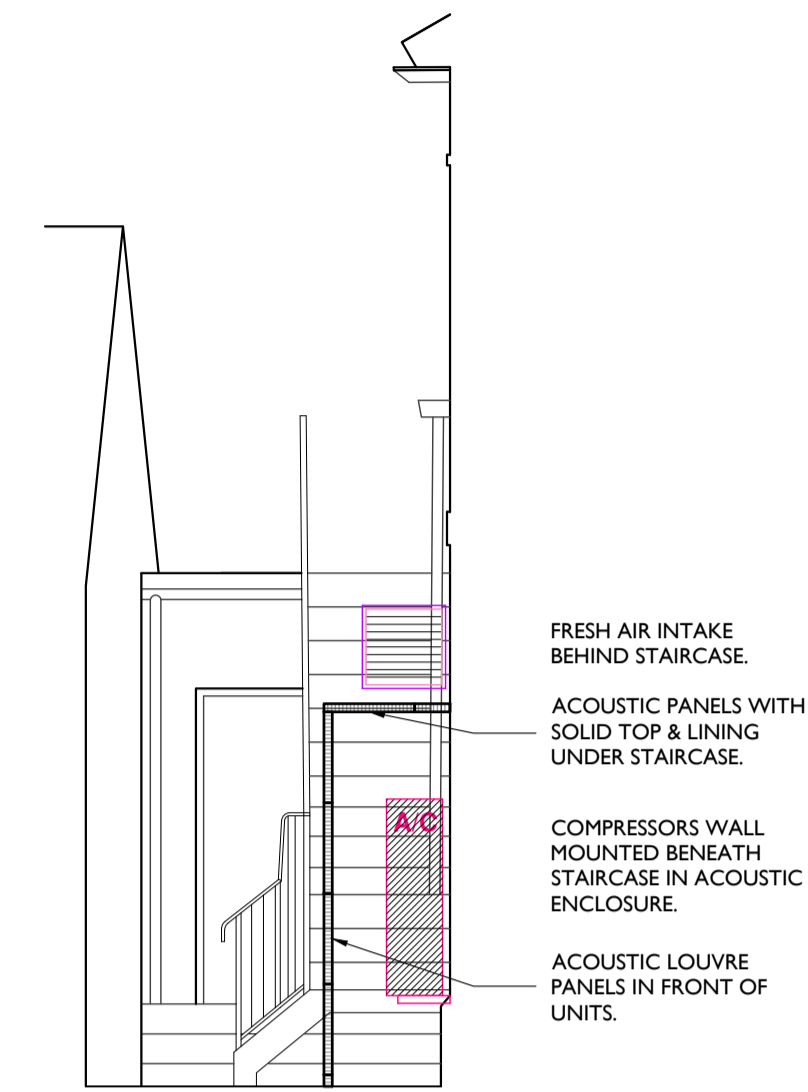
EXISTING DOORS TO BE REPAIRED AS NECESSARY AND PAINTED TO MATCH RAL7043. TO BE FASTENED OPEN DURING TRADING HOURS.

MAINTAIN LEVEL THRESHOLD

WINDOW FRAMES TO BE REPAIRED AS NECESSARY AND PAINTED TO MATCH RAL7043.

PARTIALLY "FILM-OUT" WINDOWS

**FRONT ELEVATION - Great Whyte**



**COURTYARD ELEVATION**



WINDOW FRAMES TO BE REPAIRED AS NECESSARY AND PAINTED TO MATCH RAL7043.

WINDOW FRAMES TO BE REPAIRED AS NECESSARY AND PAINTED TO MATCH RAL7043.

WINDOW FRAMES TO BE REPAIRED AS NECESSARY AND PAINTED TO MATCH RAL7043.

WINDOW FRAMES TO BE REPAIRED AS NECESSARY AND PAINTED TO MATCH RAL7043.

**SIDE ELEVATION - Little Whyte**



**COURTYARD ELEVATION**

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REV	AMENDMENT	DATE	CHKD
A	Acoustic enclosure added to compressors.	16/11/23	



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CLIENT

PROJECT  
11 Great Whyte,  
Ramsey,  
Huntingdon.  
PE26 1HF

DRAWING TITLE  
Proposed Elevations

SCALE @A1 DRAWN BY CHECKED DATE  
1:50 ST -- Oct'23

DRAWING No REVISION  
C5369-A5-06 A

Change Of Use to Hot Food Takeaway



GROSS INTERNAL GROUND FLOOR  
AREA = 265.2m<sup>2</sup> (2854sqft)

Great Whyte

**COU NOTES:**

**SHELL WORKS (BY LANDLORD):**  
Former garage to be altered, and subdivided to create one Hot Food Takeaway, maintaining a separate access to the upper floor.

**EXTERNAL DOORS & WINDOWS:**  
Front and side elevation windows and principal entrance door to be retained, and painted to match RAL7043 Traffic Grey. Rear door to be replaced with pcc aluminium Driver / Fire Exit door, colour to be RAL7043 Traffic Grey. All manually operated customer shopfront doors to have an opening force at the leading edge of not more than 30N from 0° (closed) to 20° open, and not more than 22.5N from 30° to 40° of the opening cycle. All shopfront glazing to comply with BS 952, BS 4262 (Code of Practice for Glazing in Buildings), CP152, Approved Document N and BS4206:1981 and subsequent revisions. Glazing to critical locations to be LAMINATED (NOT toughened) safety glass (all panes within 600mm of FFLGL & all panes within 1000mm of FFLGL in a door or a side panel within 300mm of a door), minimum Class B rated to BS4206:1981 in doors or door side panels over 600mm wide, Class C elsewhere, impact resistant from both sides. Manifestation - where required, manifestation to glazed windows and doors to be in accordance with Approved Documents N2 & N3. Manifestation to be in the form of 50mm diameter self adhesive P1805 light silver frosted vinyl 'jays' reverse applied to glazing @ 100mm centres. Install one set at 1500mm high from floor level, second set fixed at 1000mm from floor level. NB, manifestation not required to windows where internal leaner bars are installed, due to integral modesty panel, or where there are internal window poster frames.

**EXISTING EXTERNAL WALLS:**  
All existing external walls which are being dry-lined are to be insulated by the addition of internal insulation to upgrade to max. U value of 0.3W/m<sup>2</sup>C unless existing U-value proves to be 0.7W/m<sup>2</sup>C or better. Existing external walls are believed to be a mixture of single skin and brick/block cavity construction but it is not known whether cavity is insulated (TBC on site). Additional insulation, where required, is to be incorporated within the new dry lining to the wall - 25x50mm timber battens fixed to wall at 600mm centres, with 75.5mm thick Colson K4060 insulated plasterboard (60mm PK insulation bonded to 12.5mm tapered edge plasterboard face) fixed in accordance with manufacturer's instructions, overall thickness = 97.5mm. Reveal to window openings to be lined with foil backed plasterboard on shallow battens with void packed with quilt or rigid insulation, or lined with insulation backed plasterboard eg Gyproc ThermalLine Basic 23mm thick.

**STRUCTURAL ALTERATIONS:**  
Existing walls, columns and beams to be removed where shown on plan and replaced with new beams to Structural Engineer's details.

**FLOOR/CEILING ABOVE HOT FOOD TAKEAWAY UNIT:**  
NEW ACOUSTIC INSULATION AND FIRE PROTECTION TO EXISTING FLOOR BETWEEN NEW HOT FOOD TAKEAWAY USE AT GROUND FLOOR AND FLATS AT FIRST FLOOR. Floor/ceiling to be upgraded (if necessary) to give improved sound insulation, 60min. Fire Resistance and Class O Surface Spread of Flame. Compartmentation between floors to comply with A0B Table A2. Existing ceiling/floor construction is unknown but is presumed to be timber - TBC on site. All work to be carried out strictly in accordance with British Gypsum approved standard details.

- AIRBORNE SOUND INSULATION FROM BELOW
- Provide Gyproc Universal ceiling suspended with Gyproc G11 Lining Channels at 450mm maximum centres to give a preferred minimum cavity of 50mm (maximum of 145mm).
- 50mm lower AFR 1200 insulation in the cavity (no ductwork within void). If there is no existing ceiling in place (i.e. joints exposed), then the new construction should be upgraded to include 100mm thick lower AFR 1200 insulation or the eng. joints should be underlaid with a single layer of plasterboard prior to installing the new construction.
- Ceiling lining to be 2 layers of 12.5mm Gyproc Fireline with staggered taped and filled joints.

**IMPACT SOUND INSULATION FROM ABOVE - as existing.**  
**OR**  
New rubberfoam proprietary insulating layer to be laid on existing floor boards and floor joints (repaired/replaced as necessary). 100mm thick 40kg/m<sup>3</sup> Rockwool RW3 acoustic insulation between joists. Existing ceiling removed and replaced with 2x15mm yeaster SoundBlock plasterboard with staggered joints, skim finish, fixed to Gyproc R81 resilient bars to u/s joists. Rubberfoam to be overlaid with 15mm plywood in floor sited areas.

Floor/ceiling construction will need to meet with the approval of both the Tenant's and the Landlord's Building Inspectors.

**HEATING, COOLING AND VENTILATION (CONTRACTOR/SPECIALIST DESIGN):**

LAYOUT SHOWN IS INDICATIVE ONLY. DETAILED DESIGN BY SPECIALIST SUB-CONTRACTORS AND AS IN ACCORDANCE WITH SUPPLEMENTARY ANNEX B DOCUMENT. All work to be designed & carried out in full compliance with current Building Regulations (particularly ADRB 3.46-5.3), Gas Safety Regulations, CIBSE Codes and DEFRA "Guidance on the control of odour and noise from commercial kitchen exhaust systems" & Local Authority and EHO requirements. Efficiency and controls of heating, cooling and ventilation systems to be in accordance with the "Passive Domestic Heating, Cooling and Ventilation Compliance Guide" 2004, BRCS to be provided with copies of commissioning certificates for all installed services including air leakage test of ductwork on completion. Log book to be provided in accordance with Section 4 of AQLA/B/2010 including full details of building and fixed building services including commissioning certificates, operating manuals and maintenance/overhaul requirements. All plant, ductwork, conduits etc to be protected against damage and corrosion, have a minimum number of joints and be designed to prevent the ingress of rodents and insects.

**AIR CONDITIONING (CONTRACTOR DESIGN):** Split ceiling mounted cassette unit in Bake and Serve area, with external compressor unit and linking pipework and cables. Cold Room compressor to be located adjacent. Compressor to be wall mounted at low level, on anti-vibration mounts, in the rear courtyard in acoustic enclosure.

**MECHANICAL VENTILATION TO TOILETS (CONTRACTOR/SPECIALIST DESIGN):** Mechanical extract from toilets to give 15 l/s air change controlled by light switch with 20 minute overrun. Lobbies to have fresh air supply. Door between toilet and lobby underside or provided with ventilation grille.

**MECHANICAL EXTRACTION FROM OVEN (CONTRACTOR/SPECIALIST DESIGN):** System to be designed in accordance with DEFRA "Guidance on the Control of Odour and Noise from Commercial Kitchen Exhaust Systems" Jan. 2005. Oven to be wired so that operation only possible if mechanical extraction to oven hood is operating. New galvanneal steel extract duct from oven hood, with internally mounted fan (capable of at least 30-40 air changes per hour in accordance with CIBSE Guide 02/2001, section 3.6). All fittings to have anti-vibration mountings. Extract duct to run at high level within ground floor then rise up existing chimney stack to discharge a min 1.8m above the ridge. The extract duct to be fitted with an Odour Suppression system.

**SUPPLY AIR (CONTRACTOR/SPECIALIST DESIGN):** All internal rooms to be provided with forced ventilation via external supply air fan and ductwork at the rate of 10l/s/occupant, or by independent local wall mounted fans if necessary. Where applicable the rate of air change within the work up area should satisfy its use and occupancy. Fresh air system to be designed to replace 80% of extract air volume with fresh air with a maximum velocity of 2.5l/s, accessible fresh air filter to minimum E14 standard, internal ductwork with ceiling mounted diffusers, axial flow fan, dampers in external walls, and external wall intake louvre with minimum free area of 50% and bird/rodent guard. Extraction is to be via the main ventilation system (min. 30-40 air changes/hour).

LPWH heater battery to be provided in fresh air intake duct (connection from gas-fired combi boiler if provided, otherwise electric, in which case 3 phase supply will be required - obtain guidance from Client). New gypcrete formed through wall into rear courtyard side wall for intake grille. External wall intake grille, size TBC but typically 500x500mm, powder coated, colour RAL7043 Traffic Grey.

**ANTI-VIBRATION:** Compressors, fans and AHU to be mounted on proprietary rubber or neoprene turret type vibration isolators, each having a static deflection not less than 3mm under the load of the unit. 4 isolators are required for each unit of plant, one to each corner. All fans and AHUs must have flexible connections to the ductwork - the connections should be "toots" (not cast) when installed and should typically be formed using rubber or neoprene sheet material, NOT canvas type.

**EQUIPMENT WEIGHTS (APPROXIMATE FOR GUIDANCE ONLY):** Oven (based on larger PHS/BEV) = 750kg per deck allow for double or triple, Coldroom = allow 500kg for unloaded. Mikeline 10L = 320kg AHU on intake duct = 35kg, Oven extract fan = 35kg, Suspended ceiling = 8.5kg/m<sup>2</sup>, A/C Unit = 35kg, Oven canopy = 150kg, External Cold Room Compressor = 81kg, External A/C Compressor = 105kg. Floor loadings and wall fixings to contractor design. AHU to be supported above Cold Room and Extract Fan/Carbon Filters to be suspended below 1st floor construction, and the Structural Engineer to advise any floor strengthening works required.

**SANITARY PROVISION:**  
Customer toilet not required as there will be a maximum of 12 seats. New staff toilet cubicles and lobby to be provided for hot food takeaway. Position/insulation of sanitary fittings are to be in accordance with ADMP2015 (ambulant disabled). Toilet and lobby doors to open out. Numbers of staff toilets to be in line with Table 1 of Regulation 21 of the Workplace (Health, Safety and Welfare) Regulations 1992. 1-6 persons = 1 WC & 1 WMB. 6-25 persons = 2 WC & 2 WMB.

**REFUSE:**  
Standard 1100 litre Eurobins in the new ventilated Refuse room to the front of the premises. Separate bins for general waste and recyclables.

**PARKING:**  
On street parking on Great Whyte and Little Whyte - refer to Block Plan for location.

**EQUALITY ACT (2010):**  
Client to give due consideration as to how the requirements of the Equality Act (2010) are to be met in respect of means of access for employees and customers, and the provision of accessible sanitary facilities as specific requirements arise.

**WALL KEY**

- Existing solid wall to be retained (external walls probably a mix of single skin and cavity construction).
- Existing solid wall to be retained, as above but assumed where panelled over or boxed out.
- Existing external wall insulated internally to achieve U value max. 0.3W/m<sup>2</sup>C.
- Existing stud partition to be retained (fire resistance upgraded where shown on plan).
- Existing wall or partition to be removed.
- New external cavity wall comprising outer leaf of facing brick to match existing, 75mm partially filled cavity and inner leaf of insulating blockwork. U value max. 0.3W/m<sup>2</sup>C (replaced); max. 0.28W/m<sup>2</sup>C (new).
- New blockwork wall.
- New lightweight compartment walls.
- Demountable acoustic enclosure.
- Area of replacement ceiling.

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REV	AMENDMENT	DATE	CHKD
A	Acoustic enclosure added to compressors.	16/11/23	
B	Apartment Bin Store added.	22/11/23	
C	Bin Store area increased.	22/11/23	
D	Walls to be demolished highlighted.	01/02/24	



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CLIENT

PROJECT  
11 Great Whyte,  
Ramsey,  
Huntingdon.  
PE26 1HF

DRAWING TITLE  
Proposed Floor Plan

SCALE @A1 DRAWN BY CHECKED DATE  
1:50 ST -- Oct23

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C5369-A5-05 D

Change Of Use to Hot Food Takeaway